



# HARRISVILLE CITY

363 West Independence • Harrisville, Utah 84404 • (801) 782-1449 Fax

## Uniform Land Use & Development Application

For office use

Zone: CP-2 Filing Date: 5-30-19 Fee Paid: \$250.00

Cash ☒ Check ☐ Credit Card ☐ (Circle One) Receipt #: 049364 Taken by: JB

Applicant's Name: Leading Tech Development Phone: 435-734-2012

Applicant's Address: 1935 S Hwy 89 Perry, UT 84137

Property Owner's Name: C&N Harrisville, LLC

Harrisville Property Address: 120 N Street, 130 N Street

Name of Project: 7-11 Project Engineer: Don Sharp

Property Acreage: +/- 1 Acre

County Parcel Number: 11-038-0034 & 110380022

Is site in the flood plan YES ☒ NO ☐ Is the site in a hazard area YES ☒ NO ☐

### Select Type of Application/Action Requested

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Site Plan/Use Permit<br><input type="checkbox"/> Amended Site Plan/Use Permit<br><input type="checkbox"/> Conditional Use Permit<br><input type="checkbox"/> Amended Conditional Use Permit<br><input type="checkbox"/> Home Occupation without Visiting Clientele<br><input type="checkbox"/> Home Occupation with Visiting Clientele<br><input type="checkbox"/> Other: _____ | <input type="checkbox"/> Lot Consolidation<br><input type="checkbox"/> Lot Line Adjustment<br><input type="checkbox"/> Expand Nonconforming Use<br><input type="checkbox"/> Sign Ordinance Review<br><input type="checkbox"/> Zoning Map Amendment<br><input type="checkbox"/> General Plan Amendment<br><input type="checkbox"/> Agriculture Protection Area<br><input type="checkbox"/> Vacate Public Right-of-way |
|---|--|

Please describe your request:

Commercial Gas Station Build

Code Compliance (Enter the Code Sections Supporting this Application):

I hereby certify to the best of my knowledge that I have attached all the required plans, met the required codes and regulations, and paid all fees. I understand incomplete applications will be returned unprocessed:

Don Sharp  
Applicant's Signature

5/30/19  
Date

Don Sharp  
Property Owner Signature and Authorization

5/30/19  
Date

## MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville City Planning Commission

FROM: Matthew Robertson, P.E.  
City Engineer

RE: **7-ELEVEN AT NORTH STREET AND WALL AVE.  
Site Plan Review**

Date: June 10, 2019

The Site is located at 120 North Street on the corner of Wall Avenue and North Street. The Developer is proposing to re-zone two residential parcels to commercial and construct a new 7-Eleven convenience store on the site. Our office has completed a review of the site plan for the referenced project and we have the following comments:

1. Obtain approval and necessary permits from Ogden City for water and sewer connections and disconnections and for all improvements on North Street. Ensure that the road improvements on North Street match Ogden's master plan for future road width and follow all of their standards.
2. Verify the owner of the sewer line on North Street. This may be a Central Weber Sewer District line and if that is the case approval would be needed from them. The Developer also has the option of connecting to the City's sewer line on Wall Ave. and Bona Vista's water line on Wall Ave. near the north end of the site.
3. Obtain approval and necessary permits from UDOT for all work within the right-of-way on Wall Avenue. This would include the new sidewalk, curb and gutter, site entrance, etc.
4. The grading of the site is very flat and there is concern that the stormwater runoff will have a difficult time reaching the curb cuts on the north end of the site without ponding. Adjust grades to have a minimum slope of 1%.
5. There is no storm drain infrastructure close to the site so the Developer is proposing a retention pond. A geotechnical study needs to be completed to identify the depth to groundwater and to determine an infiltration rate of the native soil beneath the proposed retention pond. The soil classification from NRCS which was submitted in the drainage report does not match what we typically see in the area. The infiltration rate may not be used to decrease the size of the basin but is necessary to determine the drain time for the basin. Additional soil preparation or other measures may be needed if the native soil does not percolate well enough.
6. The retention pond needs to have an emergency overflow at the high water elevation that will overflow to the street to prevent flooding of neighboring properties. There should also be concrete waterways or similar item at the curb cuts to the bottom of the pond to prevent the landscaping from building up over time and blocking the curb cuts.
7. The depth of the retention pond shown on Sheets C602-604 does not match the elevations shown on the grading plan. It appears that the pond is 1.9' to the high water mark instead of the 2.5' shown. Check these numbers and re-calculate the pond volume accordingly.

June 7, 2019

Leading Tech  
1835 S Hwy 89  
Perry, UT 84302  
Attn: Alexis

Dear Developer:

*Re: Natural Gas Service Availability Letter*

Natural gas can be made available to serve the commercial development at 120 North St, Harrisville, UT, when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Dominion Energy' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,

Cody Randall  
Pre-Construction Representative



May 7, 2019

Alexis Riggs  
alexis@leadingtechonline.com

Request: 6682746

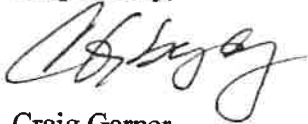
Dear Ms. Riggs:

Rocky Mountain Power will supply power to property located at or near 120 North St, Harrisville, UT, with the following provisions:

- Applicant will apply for power by calling 1-888-221-7070
- Applicant or Developer will supply a signed, approved recorded property plat map with lot numbers, addresses, and section corners identified if applicable.
- Residential and Commercial Developer will supply an electronic copy of the subdivision by e-mail, (Auto-cad version 2011), to the estimator assigned to the project.
- Residential Subdivision Developer will pay all costs which are non-refundable above the \$750.00 per lot allowance according to line extension tariff, regulation 12.
- All single lot applicants will be subject to the line extension rules and regulation 12.
- Applicant is responsible to sign a contract after job is approved by Rocky Mountain Power management, and pay any associated costs before work can be scheduled or materials ordered.
- Rocky Mountain Power engineering review may be required and may be subject to additional charges according to our filed line extension tariff, regulation 12.

If you have any questions regarding these provisions, please feel free to call me at 801-629-4434.

Respectfully,



Craig Garner  
Estimator  
Rocky Mountain Power



## Central Weber Sewer Improvement District



May 29, 2019

City of Harrisville  
363 W. Independence Blvd.  
Harrisville, UT 84404

SUBJECT: New 7-Eleven Store  
North Street and Wall Avenue  
Sanitary Sewer Will Serve Letter

### TO WHOM IT MAY CONCERN:

We have reviewed the preliminary plans for a proposed 7-Eleven Store at the intersection of North Street and Wall Avenue in the City of Harrisville. We can treat the sanitary sewer from this proposed development and offer the following comments.

1. Central Weber has the capacity to treat the sanitary sewer flow from this proposed development.
2. Details of any connection and/or manhole construction being made directly to Central Weber's main line will need to be submitted to Central Weber and approved prior to construction and the connection being made.
3. Any connection to Central Weber's line must be inspected by Central Weber while the work is being done. A minimum of 48-hour notice for inspection shall be given to Central Weber prior to any work associated with the connection.
4. Central Weber will not take ownership or responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that are proposed as a part of this development.
5. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. Central Weber's Wastewater Control Rules and Regulations state:

City of Harrisville  
May 29, 2019  
Page -2-

*Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.*

6. Impact fees will need to be paid to Central Weber Sewer Improvement District no later than the issuance of any building permits.

If you have any further questions or need additional information please let us know.  
Sincerely,



Lance L. Wood, P. E.  
General Manager



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GENERAL

1. CONTRACTOR SHALL FOLLOW THE UDOT FOR ANY WORK DONE WITH IN THE PUBLIC RIGHTS OF WAY.

2. CONTRACTOR SHALL FOLLOW UDOT SPECIFICATIONS.

3. CONTRACTOR SHALL NOTIFY "BLUE STAKES" AT LEAST 72 HOURS BEFORE EXCAVATING.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY; CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

5. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS.

6. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES SHALL BE STABILIZED WITH PLANTINGS OR OTHERWISE RECEIVE 6 INCHES ON MULCH OR LOAM AND SEED AS DIRECTED BY THE ENGINEER OF RECORD.

7. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

8. WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITION OF THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

9. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.

10. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

11. AREA OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

12. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

13. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.

14. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

15. CONTRACTOR SHALL CONTROL STORM WATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFFSITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

16. THE CONTRACTOR SHALL EVALUATE ANY DEWATERING REQUIRED BY THE WORK TO DETERMINE IF COVERAGE UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) DEWATERING GENERAL PERMIT (DGP) IS REQUIRED FOR DEWATERING DISCHARGES. IF COVERAGE IS REQUIRED UNDER THE DGP, PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FILE A DGP NOTICE OF INTENT WITH THE EPA FOR CONSTRUCTION DEWATERING ACTIVITIES AND COMPLY WITH ALL PERMIT REQUIREMENTS THEREIN. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT.

UTILITIES

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.

2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNERS REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTORS FAILURE TO THE NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATION FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.

3. SET INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.

4. RIM ELEVATIONS FOR MANHOLES AND SEWER CLEANOUTS, WATER VALVE COVERS, ELECTRIC AND TELEPHONE PULL BOXES AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:

a. PAVEMENTS AND CONCRETE SURFACES: FLUSH

b. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH

c. LANDSCAPE, LOAD AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION

6. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.

7. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.

8. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:

a. STORM WEVER SHALL BE POLYVINYL CHLORIDE (PVC) SDR-26

9. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS, SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.

LAYOUT AND MATERIALS

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKING, UNLESS OTHERWISE NOTED.

2. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, ETC.

3. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR.

4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

5. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLAN, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

CONSTRUCTION SEQUENCE

1. SURVEY AND STAKE LIMITS OF DISTURBANCE.

2. INSTALL EROSION CONTROL CARRIERS, CONSTRUCTION EXITS, PRIOR TO START OF CONSTRUCTION, TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.

3. CLEAR ALL AREAS TO BE DISTURBED BY CONSTRUCTION AND PERFORM DEMOLITION OPERATIONS.

4. REPAIR, CLEAN, AND REPLACE AND SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER RAINFALL EVENTS.

5. STRIP LOAM AND PAVEMENT, OR RECLAIM PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL.

6. CONSTRUCT TEMPORARY SEDIMENTATION BASINS AS REQUIRED.

7. PERFORM PRELIMINARY SITE GRADING AND CONSTRUCT TEMPORARY DIVERSION SWALES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE PRELIMINARY GRADING ALLOWS SURFACE WATER RUN-OFF FROM UNSTABILIZED AREA TO FLOW TOWARDS THE TEMPORARY SEDIMENTATION BASINS.

8. PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN.

9. INSTALL SEWER SERVICE, WATER SERVICE, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS.

10. PERFORM FINAL/FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS WHERE REQUIRED.

11. PERFORM ALL REMAINING SITE CONSTRUCTION.

12. LOAM AND SEED OR PLANT ALL REMAINING DISTURBED AREA.

13. REMOVE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE, UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF STABILIZED PERMANENT GROUND COVER.

14. CLEAN ALL DRAINAGE WAYS AND PIPES WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS.

INSPECTIONS

ALL WORK DONE INCLUDING TRENCHING, BACKFILL, COMPACTION, WATER CONNECTION, SEWER CONNECTION, WATER METER INSTALLATION, STORM SEWER CONNECTION, ETC. WILL BE INSPECTED BY A REPRESENTATIVE FROM ENGINEER OF RECORD.

7-ELEVEN

CIVIL SITE PLAN

HARRISVILLE, UTAH

MAY, 2019

PROJECT LOCATION

VICINITY MAP

HARRISVILLE

UTAH

leading tech development

Building Business

DOLLAR TREE

FAMILY DOLLAR

CIVIL ABBREVIATIONS

AND APPROXIMATE AT BENCH MARK CLEAR COMMUNICATION CONCRETE CONTROL POINT DEGREE DIAMETER DUCTILE IRON DEMOLITION EAST/EASTING ELEVATION EXCAVATION EXISTING FEET/FOOT INVERT ELEVATION IRRIGATION LINEAR FEET MANHOLE MAXIMUM

& APPROX @ CLR. COM. CONC. CP DEG OR ° DIA OR Ø D.I. DEMO E ELOR ELEV EXC EXIST FT I.E OR INV IRR L.F. MH MAX.

MINIMUM STANDARD SPECIFICATION NOT TO SCALE NORTH/NORTHING NUMBER ON CENTER POLYVINYL CHLORIDE PROPERTY LINE RIGHT SOUTH SQUARE FEET SQUARE YARD STATION STAINLESS STEEL STANDARD TYPICAL WEST WITH OCCUPATION SAFETY AND HEATH ADMINISTRATION

MIN. NTS N NO. OR # O.C. PVC PL RT S S.F. SY STA S.S. STD TYP W W/ OSHA

SHEET INDEX

C-001	COVER SHEET
C-101	EXISTING CONDITIONS
C-102	SITE PLAN
C-103	GRADING/UTILITY PLAN
C-104	VEHICLE TRACKING PLAN
C-601	DETAILS
C-602	WATER RETENTION POND DETAILS
C-603	WATER RETENTION POND DETAILS
C-604	WATER RETENTION POND DETAILS

LEGEND

BUILDING

CONCRETE

CURB & GUTTER - CATCH

ELECTRICAL BOX

FENCE - WOOD

GAS

GAS METER

MANHOLE

OVERHEAD POWER

POWER POLE

PROPERTY LINE

PROPERTY MARKER

STORM WATER

IN CURB STORM WATER CATCH BASIN

IN ASPHALT STORM WATER CATCH BASIN

IN GRASS STORM WATER CATCH BASIN

SEWER

SEWER CONNECTION

UNDERGROUND ELECTRIC

WATER VALVE

WATER LINE

WATER METER

FIRE HYDRANT

CONTOUR LINE

RADIUS OF CURB

IRRIGATION PIPE

CLIENT

LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923

NOESIS ENGINEERING  
1680 WOODRUFF PARK  
IDAHO FALLS, IDAHO 83401  
(208) 932-2720 (PHONE)

QT 5/29/19  
DRAWN BY MA DATE 5/29/19  
REVIEWED BY DS DATE 5/29/19  
TECHNICAL APPROVAL

ALWAYS THINK SAFETY

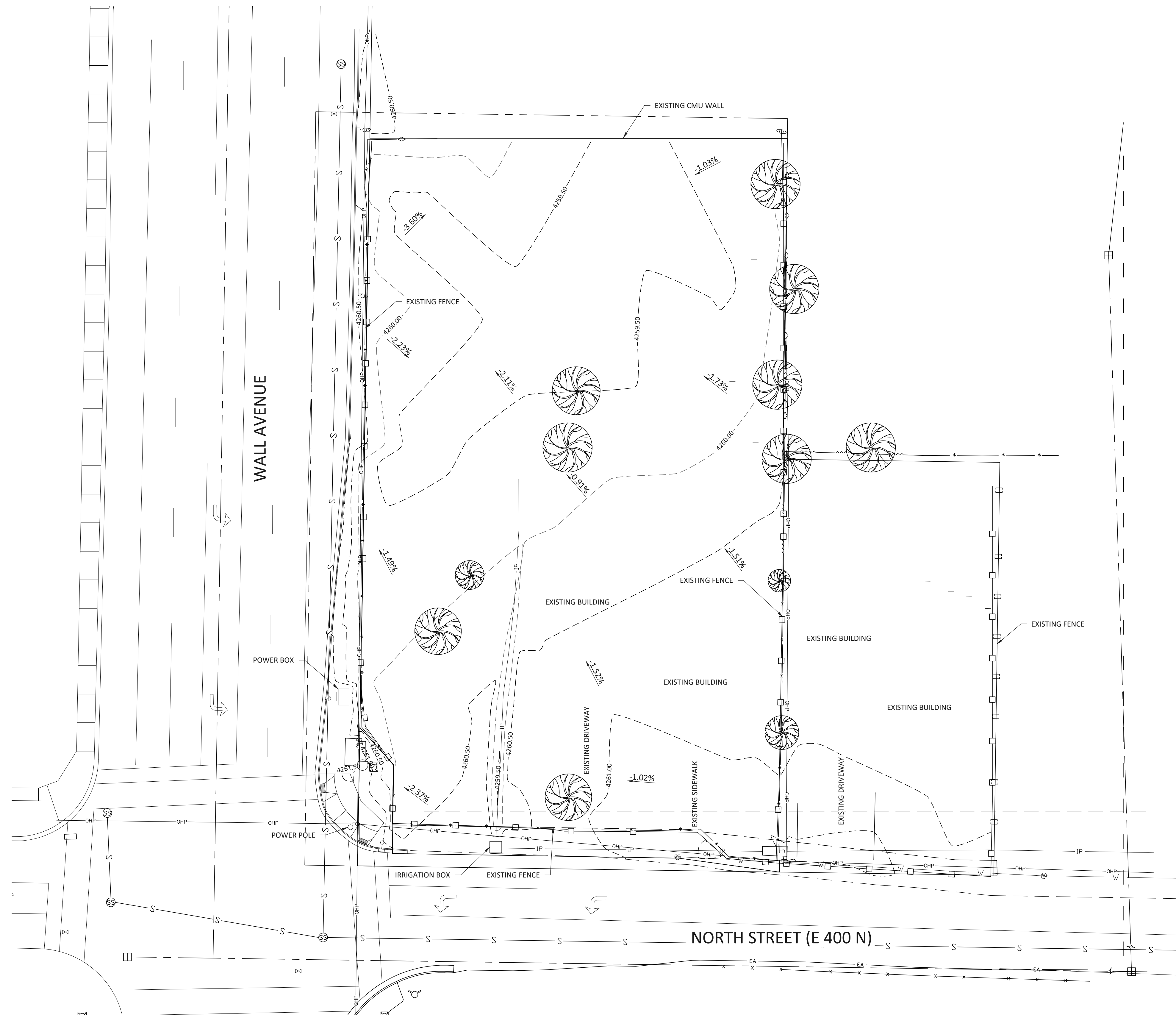
HARRISVILLE, UTAH  
7-ELEVEN

PROFESSIONAL ENGINEER  
DANIEL B. SHARP  
9213241  
-2202  
5-21-2019  
STATE OF UTAH

COVER SHEET

C-001  
Sheet 1 OF 6





1

## EXISTING CONDITIONS

SCALE: 1"=20'

	CLIENT
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LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923

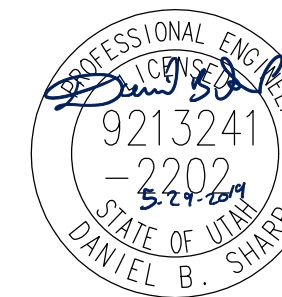


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DRAWN BY	DATE
MA	5/29/19
REVIEWED BY	DATE
DS	5/29/19
TECHNICAL APPROVAL	DATE

**ALWAYS THINK SAFETY**



HARRISVILLE, UTAH  
7-ELEVEN



## EXISTING CONDITIONS

C-101

Sheet 2 OF 6



D  
C  
B  
A

Plot Date: 5/29/2019 8:27 PM  
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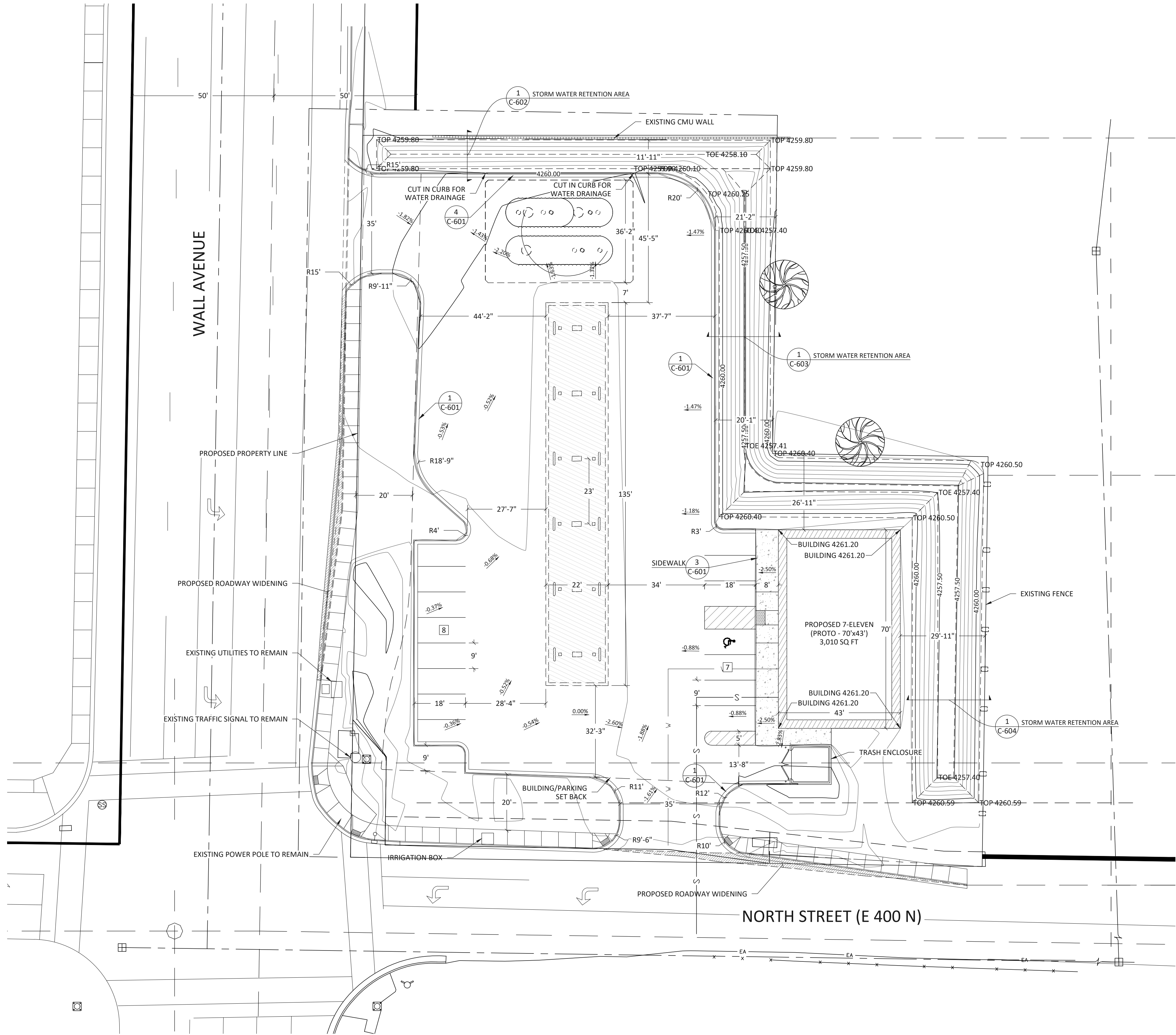
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1  
-  
SITE PLAN  
SCALE: 1"=20'

PROJECT INFORMATION

SITE AREA	
TOTAL PARCEL:	±1.250 ACRES
BUILDING AREA	
BUILDING:	±3,010 S.F.
LANDSCAPE:	±7,243 S.F.
CONCRETE:	±733 S.F.
ASPHALT:	±24,864 S.F.
PARKING COUNT SUMMARY	
PARKING REQUIRED:	
7ELEVEN (2/400 S.F.):	15 SPACE
PARKING PROVIDED:	
STANDARD STALLS:	14 SPACES
ADA STALLS:	1 SPACES
TOTAL PARKING:	15 SPACES
RATIO PROVIDED:	1.00
ZONING CLASSIFICATION	
EXISTING:	RESIDENTIAL
NOTES:	

- ALL AREAS PROVIDED AND PROPERTY DELINEATED ARE APPROXIMATE AND WILL NEED TO BE VERIFIED-SURVEY PROVIDED BY OTHERS.
- PLAN FOR ILLUSTRATIVE PURPOSES ONLY.
- THE BOUNDARIES OF THIS DRAWING WERE DEVELOPED FROM SCALE INFORMATION AND SHOULD NOT BE CONSTRUED AS ACCURATE.

CLIENT

LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923



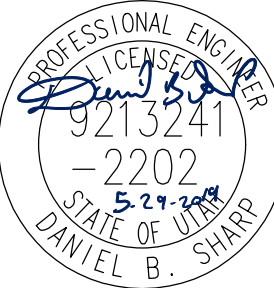
NOESIS ENGINEERING  
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(208) 932-2720 (PHONE)

QT	5/29/19
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DS	5/29/19
TECHNICAL APPROVAL	DATE

ALWAYS THINK SAFETY



HARRISVILLE, UTAH  
7-ELEVEN



SITE PLAN

C-102

Sheet 3 OF 6

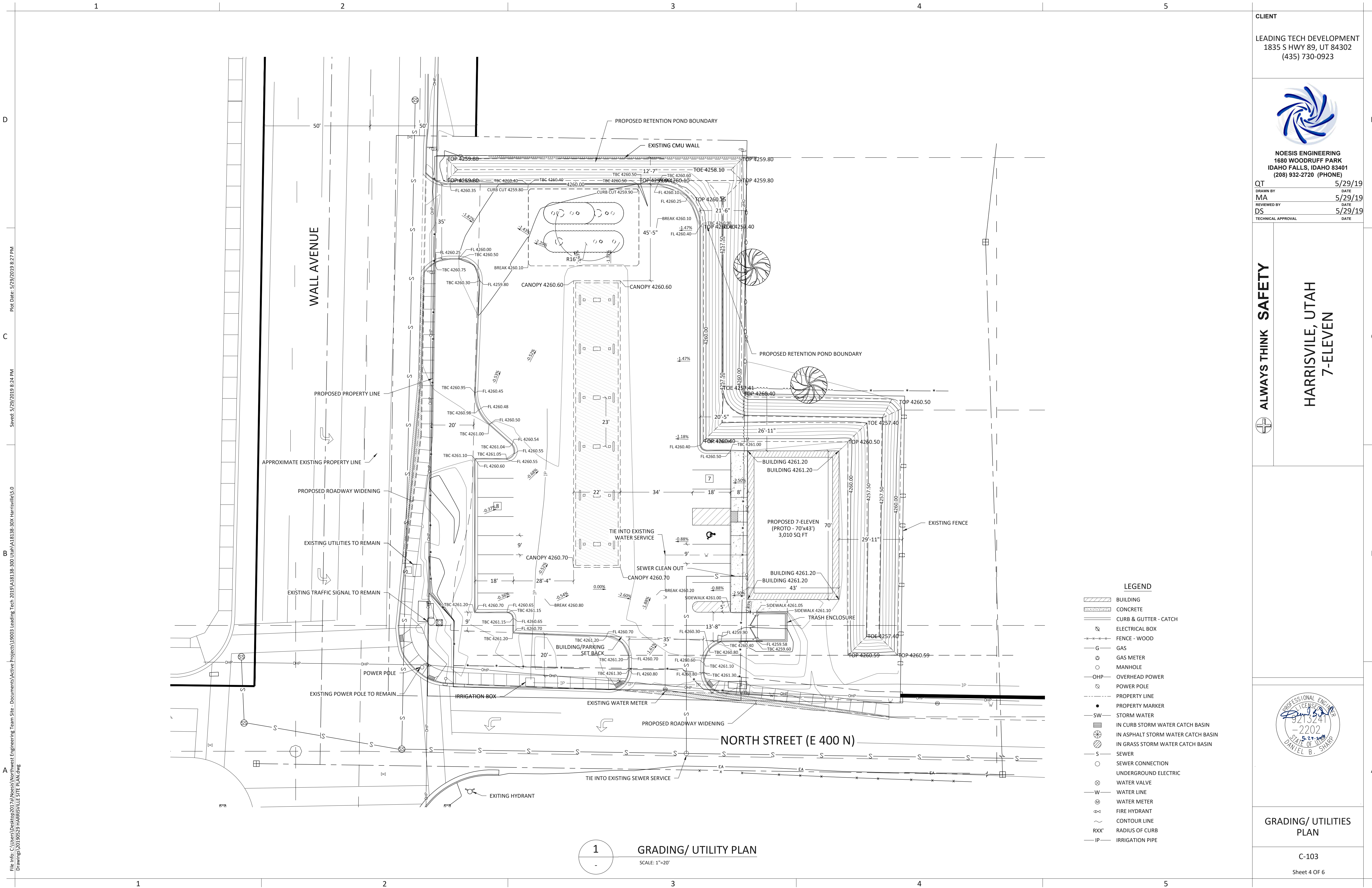
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CLIENT

LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923

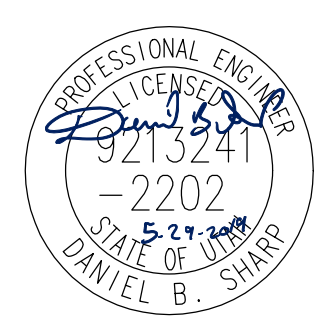


NOESIS ENGINEERING  
1680 WOODRUFF PARK  
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(208) 932-2720 (PHONE)

QT 5/29/19  
DRAWN BY MA 5/29/19  
REVIEWED BY DS 5/29/19  
TECHNICAL APPROVAL DATE

ALWAYS THINK SAFETY

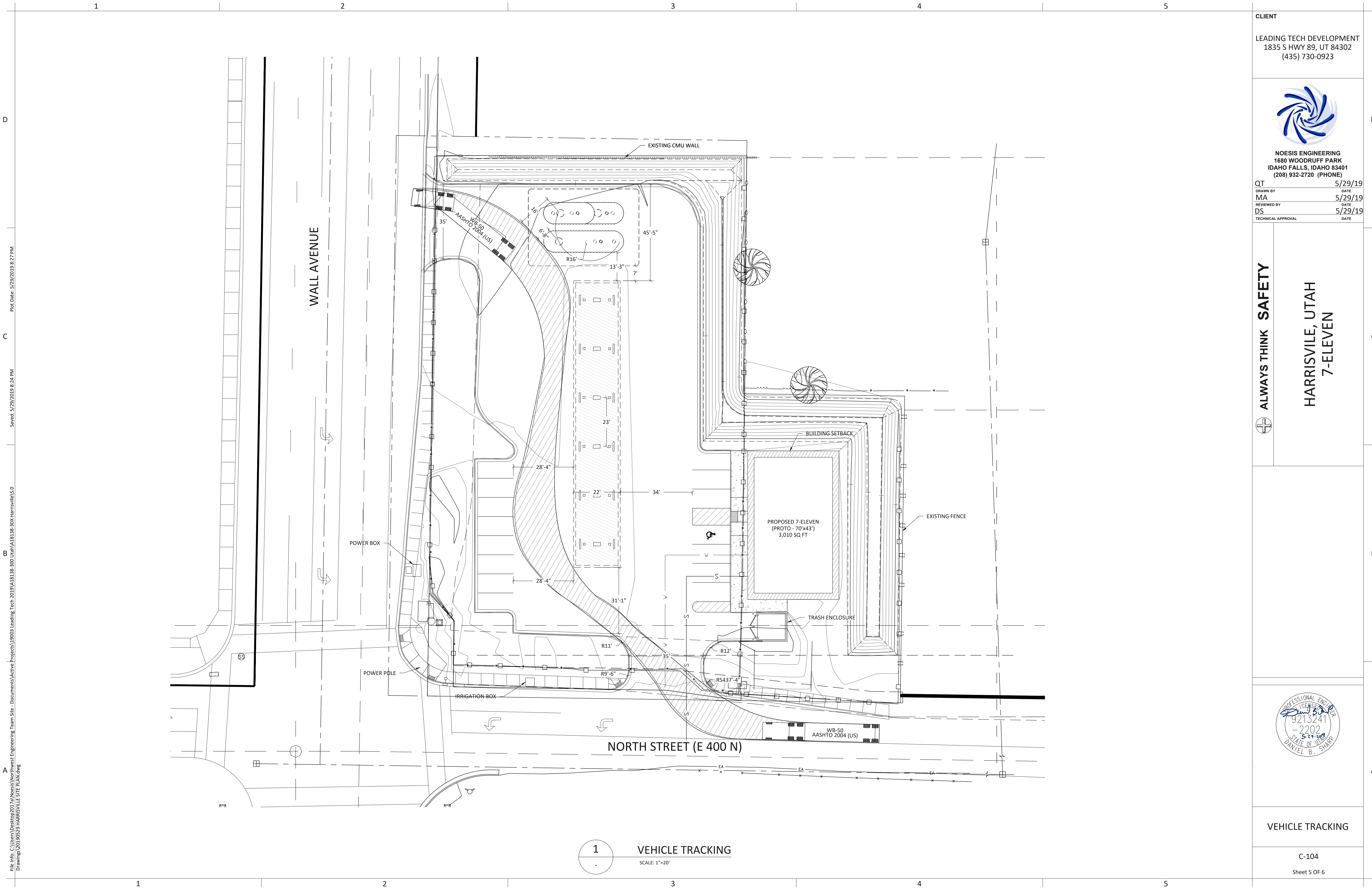
HARRISVILLE, UTAH  
7-ELEVEN



GRADING/ UTILITIES  
PLAN

C-103  
Sheet 4 OF 6






1  
2  
3  
4  
5

D  
C  
B  
A

Plot Date: 5/29/2019 8:27 PM  
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CLIENT

LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923




NOESIS ENGINEERING  
1680 WOODRUFF PARK  
IDAHO FALLS, IDAHO 83401  
(208) 932-2720 (PHONE)

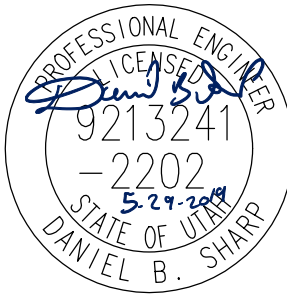
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HARRISVILLE, UTAH  
7-ELEVEN



VEHICLE TRACKING

C-104  
Sheet 5 OF 6

1  
-  
VEHICLE TRACKING  
SCALE: 1"=20'



Plot Date: 5/29/2019 8:28 PM  
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File Info: C:\Users\Des2017\Noesis\Northwest Engineering Team Site - Documents\Active Projects\19003 Leading Tech 2019\A18138-300 Utah\A18138-30X Harrisville\A5.0 Drawings\20190529 Harrisville Site PLAN.dwg  
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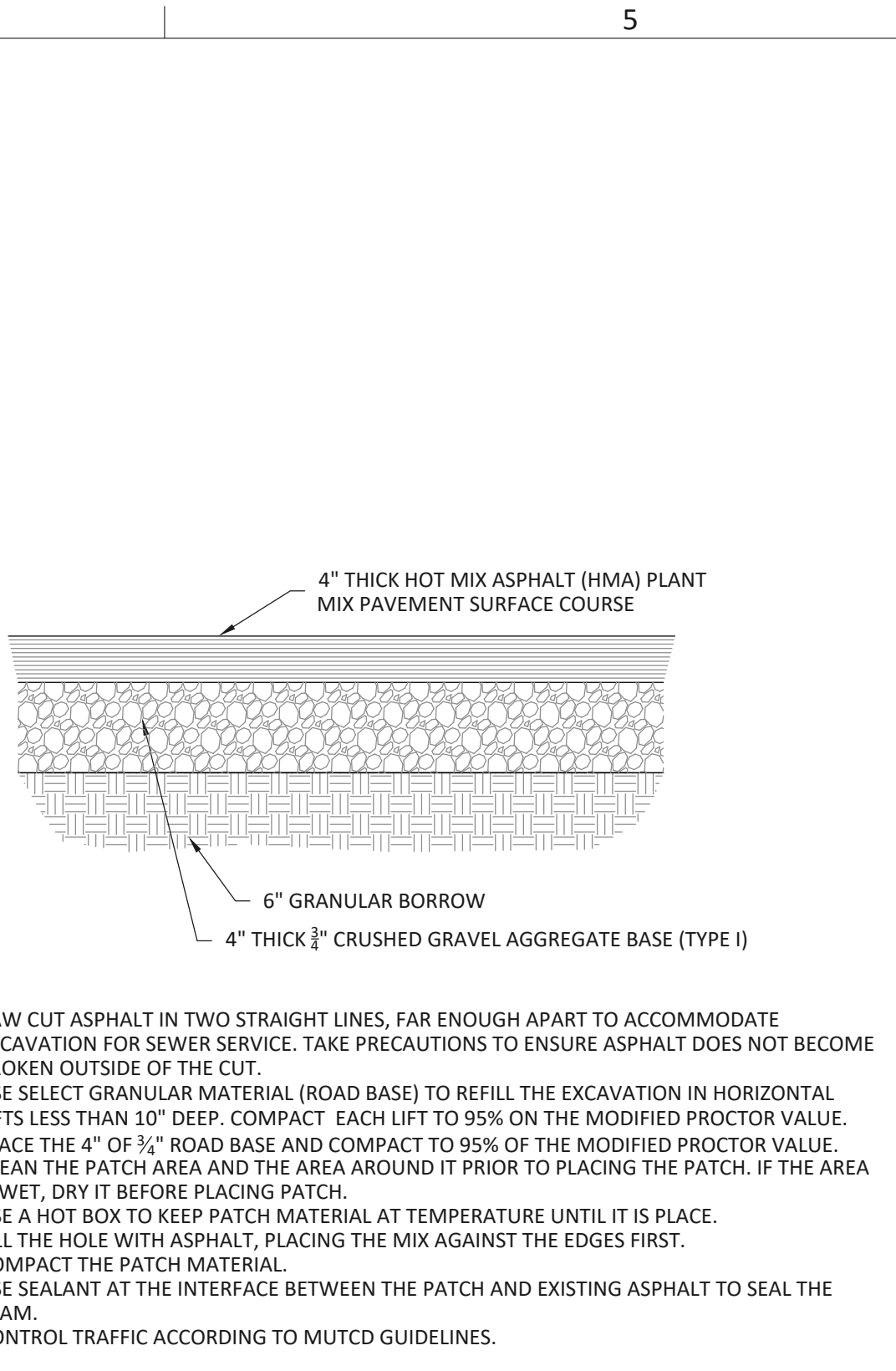
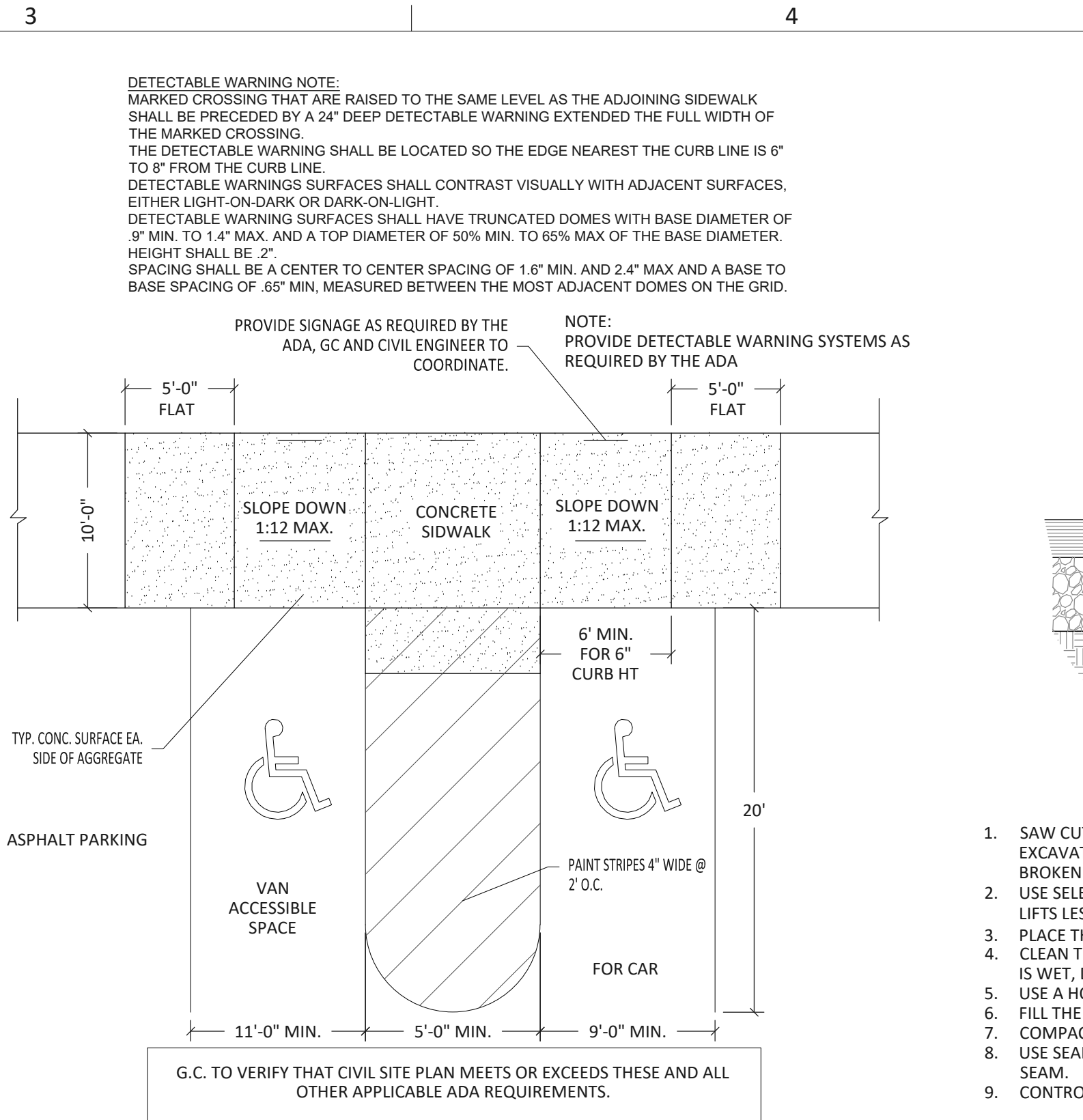
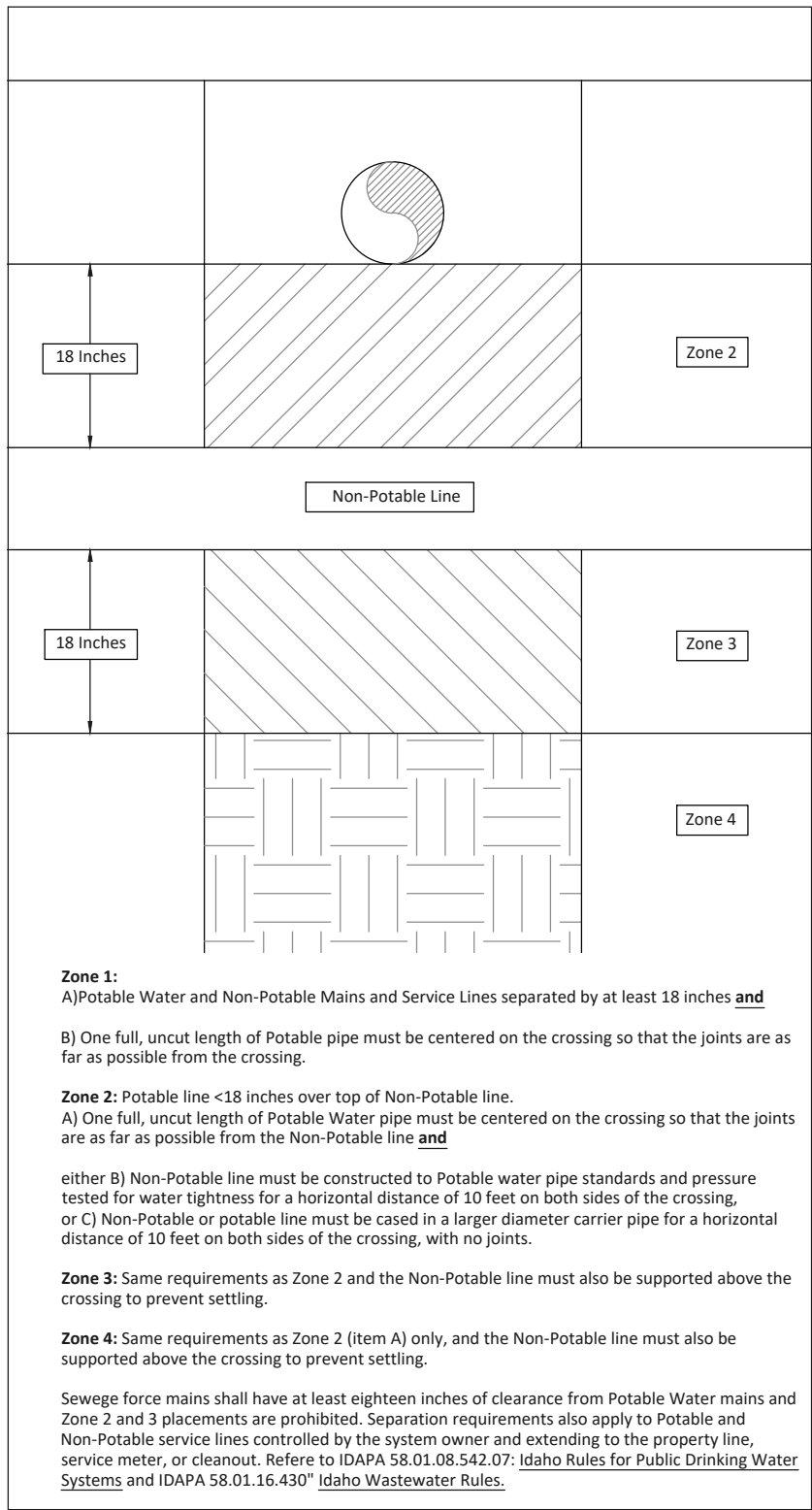
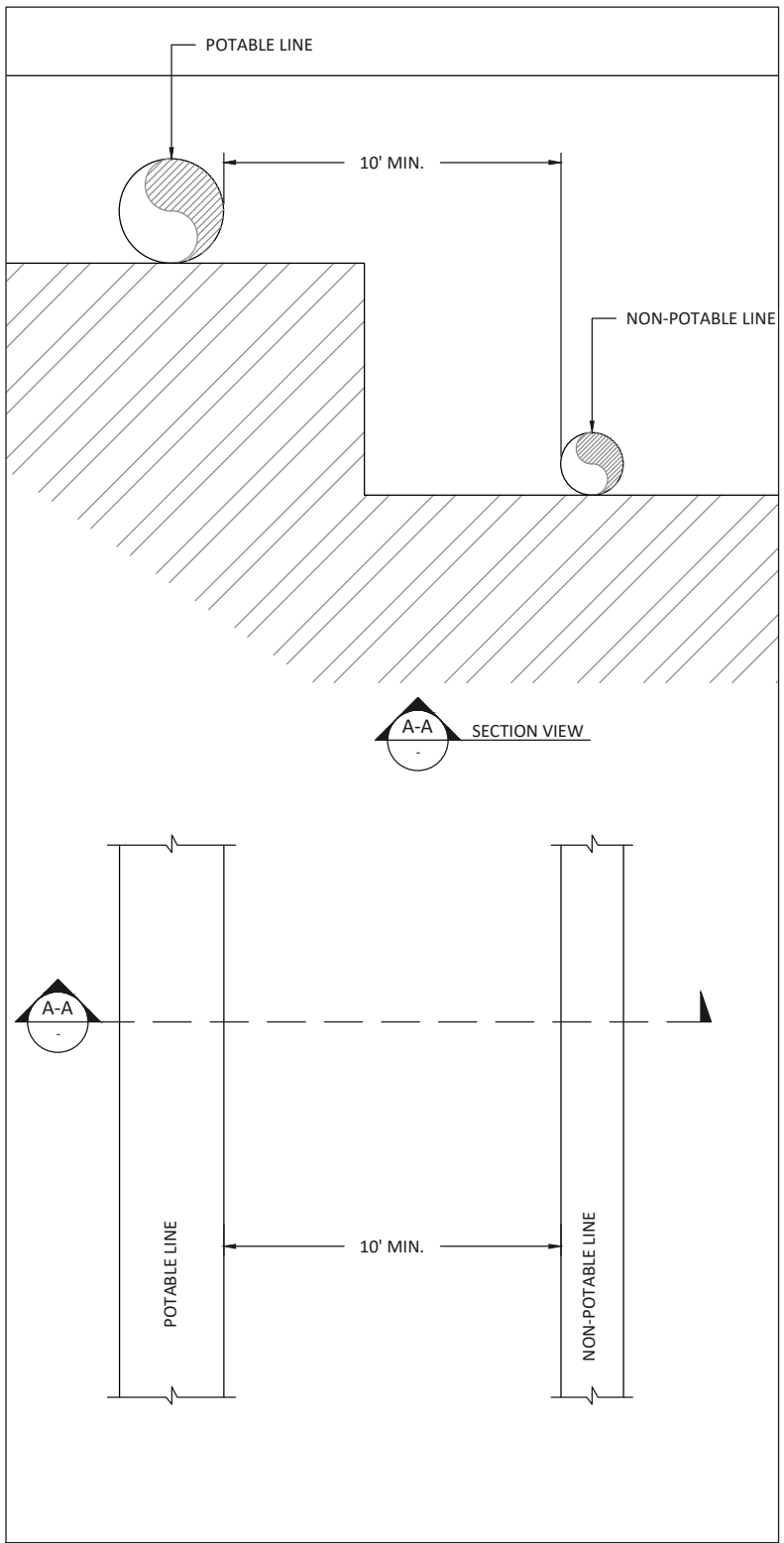
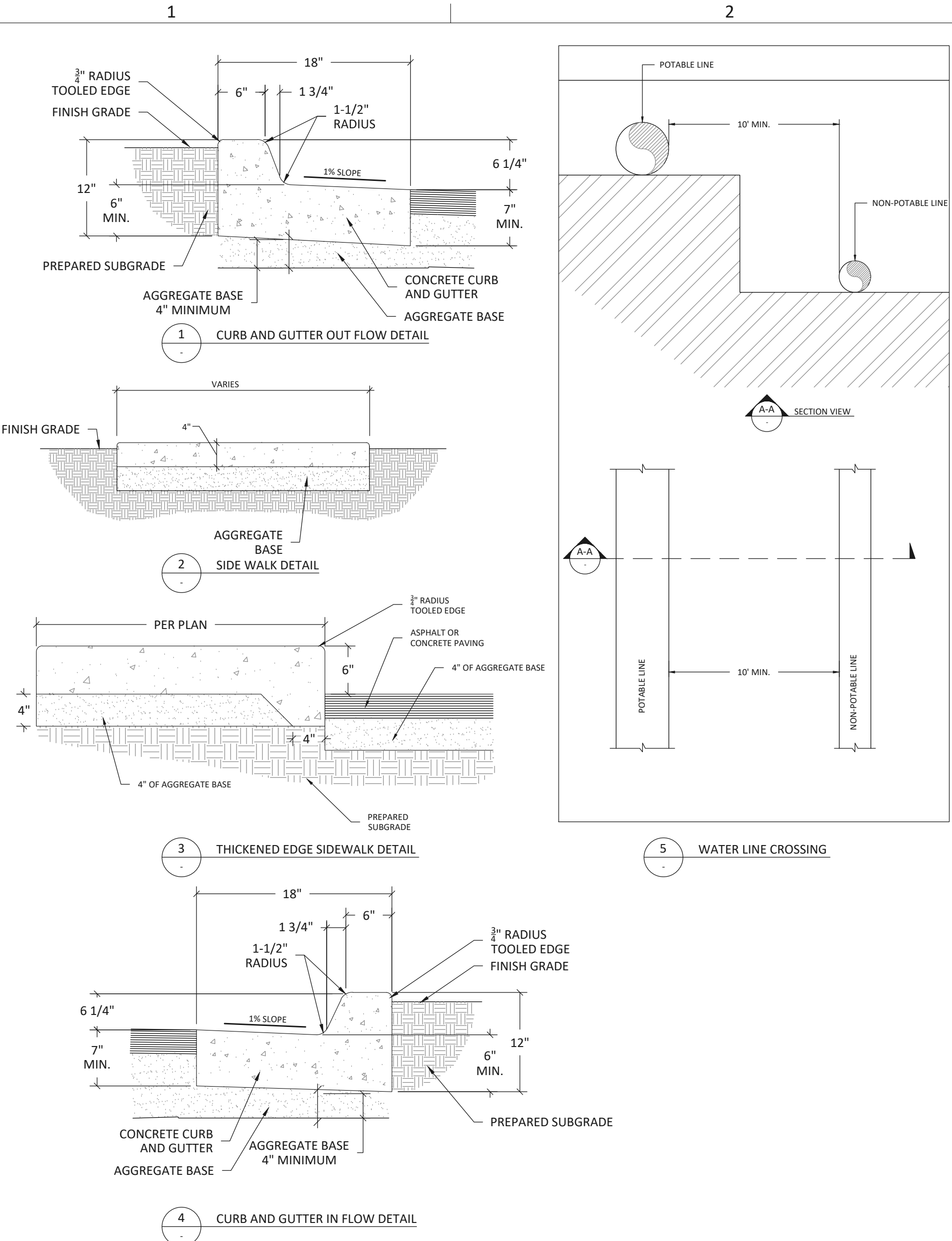
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**CONCRETE NOTES**

- MATERIALS, UNLESS NOTED OTHERWISE:
  - NORMAL WEIGHT AGGREGATES ASTM C33
  - REINFORCED STEEL ASTM A615 GRADE60 (FY=60 KSL)
- ADMITTURES:
  - AIR-ENTRAINING ADMIXTURES COMPLY WITH ASTM C260 (WHEN USED).
  - CALCIUM CHLORIDE SHALL NOT BE ADDED TO THE CONCRETE MIX.
  - TYPE I/II CEMENT COMPLYING WITH ASTM C150 SHALL BE USED FOR ALL CONCRETE.
  - THE WATER/CEMENT RATIOS SHALL MEET THE REQUIREMENTS OF ACI 318.
  - PROVIDE AIR ENTRAINING AS RECOMMENDED BY ACI 318.
  - NO ALUMINUM CONDUIT OR PRODUCT CONTAINING ALUMINUM OR ANY OTHER MATERIAL INJURIOUS TO CONCRETE SHALL BE EMBEDDED IN CONCRETE.
- COMPRESSIVE STRENGTHS OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS:
  - ALL SITE CONCRETE 4000 PSI
- ONLY ONE GRADE OR TYPE OF CONCRETE SHALL BE POURED ON THE SITE AT ANY GIVEN TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, DETAILING, CARE PLACEMENT AND REMOVAL OF ALL FORM WORK AND SHORING.
  - SUPPORTING FORMS AND SHORING SHALL NOT BE REMOVED UNTIL STRUCTURAL MEMBERS HAVE ACQUIRED SUFFICIENT STRENGTH TO SAFELY SUPPORT THEIR OWN WEIGHT AND ANY CONSTRUCTION LOAD TO WHICH THEY MAY BE SUBJECTED. IN NO CASE, HOWEVER, SHALL FORMS AND SHORING BE REMOVED IN LESS THAN 24 HOURS AFTER CONCRETE PLACEMENT.
- REINFORCEMENT SHALL HAVE THE FOLLOWING CONCRETE COVER:

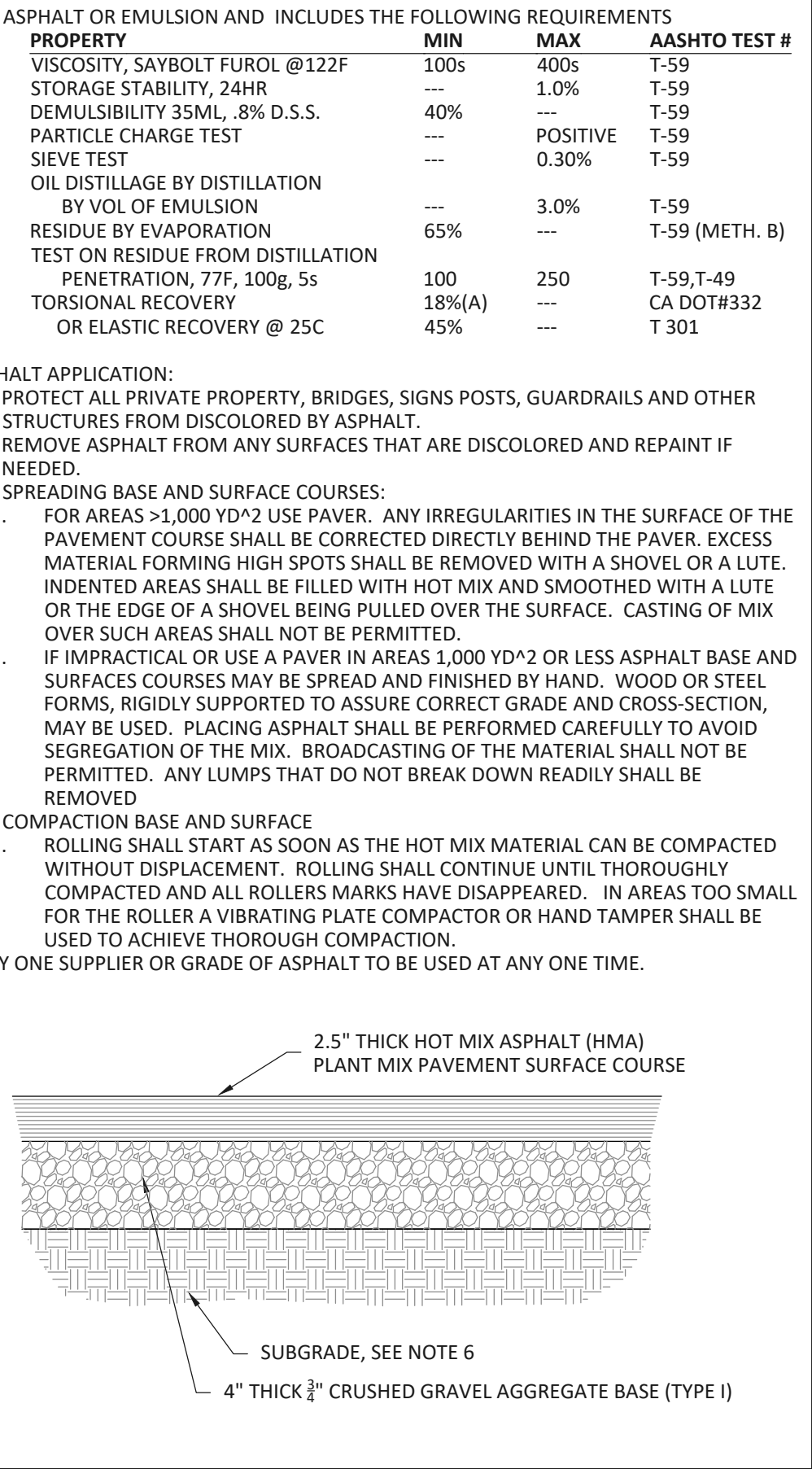
	CLEAR COVER
A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
B. FORMED CONCRETE EXPOSED TO EARTH OR WEATHER:	
#5 THRU #18 BARS	2"
#5 AND SMALLER BARS	1-1/2"
C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:	
SLABS, WALLS, JOISTS, #11 BARS AND SMALLER	3/4"
BEAMS, COLUMNS, PRIMARY REINF. TIES, STIRRUPS, SPIRALS	1-1/2"
- CONSTRUCTION JOINTS AND CONTROL JOINTS:
  - CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.25:1. CONTROL JOINTS SHALL BE COMPLETED WITHIN 12 HOURS OF CONCRETE PLACEMENT. CONTROL JOINTS MAY BE INSTALLED BY:
    - SAW CUT A DEPTH OF 1/4 THE THICKNESS OF THE SLAB
    - TOOLED JOINTS A DEPTH OF 1/4 THE THICKNESS OF THE SLAB
  - INSTALL CONSTRUCTION OR CONTROL JOINTS IN SLABS ON GRADE AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION FOR UNREINFORCED SLABS AND 75 TIMES THE SLAB THICKNESS IN ANY DIRECTION FOR REINFORCED SLABS, UNLESS NOTED OTHERWISE. CONSTRUCTION JOINTS SHALL NOT EXCEED A DISTANCE OF 125'-0" O.C. IN ANY DIRECTION.
- CONSTRUCTION:
  - USE CHAIRS OR OTHER SUPPORT DEVICES RECOMMENDED BY THE CRSI TO SUPPORT AND CONTINUOUSLY SUPPORTED AT 36" O.C. MAXIMUM. REINFORCING STEEL FOR SLABS ON GRADE SHALL BE ADEQUATELY SUPPORTED ON PRECAST CONCRETE UNITS. LIFTING THE REINFORCING OFF THE GRADE DURING PLACEMENT OF CONCRETE IS NOT PERMANENT. CONCRETE TO BE MECHANICALLY CONSOLIDATED DURING PLACEMENT PER ACI STANDARDS.
  - CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL OPENINGS, CURBS, DOWELS, SLEEVES, CONDUITS, BOLTS, INSERTS AND OTHER EMBEDDED ITEMS PRIOR TO CONCRETE PLACEMENT.
  - ALL EMBEDS AND DOWELS SHALL BE SECURELY TIED TO FORM WORK OR TO ADJACENT REINFORCING PRIOR TO THE PLACEMENT OF CONCRETE.
  - NO PIPES, DUCTS, SLEEVES, ETC. SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. PENETRATIONS THROUGH WALLS WHEN APPROVED SHALL BE BUILT INTO THE WALL PRIOR TO CONCRETE PLACEMENT. PENETRATIONS WILL NOT BE ALLOWED IN FOOTINGS OR GRADE BEAMS UNLESS DETAILED. PIPING SHALL BE ROUTED AROUND THESE ELEMENTS AND FOOTINGS STEPPED TO AVOID PIPING.
  - REINFORCING BARS SHALL NOT BE WELDED. DO NOT SUBSTITUTE REINFORCING BARS FOR DBAS OR HSAS.
- DETAILING:
  - LAP LENGTHS SHALL BE AS FOLLOWS:
    - 30 BAR DIAMETERS FOR #3 AND #4 BARS
    - 40 BAR DIAMETERS FOR #5 THROUGH #8 BARS
    - DO NOT SPICE STIRRUPS AND TIES.
    - DO NOT SPICE VERTICAL BARS IN RETAINING WALL UNLESS SPECIFICALLY SHOWN.
  - AT JOINTS PROVIDE REINFORCING DOWELS TO MATCH THE MEMBER REINFORCING, UNLESS NOTED OTHERWISE.
  - AT ALL DISCONTINUOUS CONTROL OR CONSTRUCTION SLAB ON GRADE JOINTS, PROVIDE 2-#4x48".
  - PROVIDE CORNER BARS AT INTERSECTING WALL CORNERS USING THE SAME BAR SIZE AND SPACING AS THE HORIZONTAL WALL REINFORCING.
  - ALL VERTICAL REINFORCING SHALL BE DOWELED TO FOOTINGS, OR TO THE STRUCTURE BELOW WITH THE SAME SIZE AND SPACING AS THE VERTICAL REINFORCING FOR THE ELEMENT ABOVE. DOWELS EXTENDING INTO FOOTINGS SHALL TERMINATE WITH A 90 DEGREE STANDARD HOOK AND SHALL EXTEND TO WITHIN 4" OF THE BOTTOM OF THE FOOTING. FOOTING DOWELS (#8 BARS AND SMALLER) WITH HOOKS NEED NOT EXTEND MORE THAN 20" INTO FOOTINGS.
  - HORIZONTAL WALL REINFORCING SHALL TERMINATE AT ENDS OF WALLS AND OPENINGS INTO THE FAR END OF THE JAMB COLUMN WITH A 90 DEGREE STANDARD HOOK PLUS A 6 BAR DIAMETER EXTENSION. HORIZONTAL WALL REINFORCING SHALL BE CONTINUOUS THROUGH CONSTRUCTION AND CONTROL JOINTS.

ASPHALT DETAIL NOTES:

- COMPLY WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
- NATURAL GROUND SURFACE SHALL BE CLEARED OF ALL VEGETATION AND OTHER OBJECTIONABLE MATERIALS.
- EXISTING ASPHALT PAVEMENT SHALL BE REMOVED TO A CLEAN, STRAIGHT LINE WITH VERTICAL FACES (SAW CUT AS NEEDED).
- SUBMITTALS:
  - TEST RESULTS - GRADATION, SAND EQUIVALENT, PERCENT WEAR, LIQUID LIMIT, PLASTICITY INDEX, FRACTURED FACES.
  - MATERIALS FROM THE LOCAL STATE'S TRANSPORTATION DEPARTMENT MATERIALS SOURCE WILL NOT REQUIRE PROJECT SPECIFIC SUBMITTAL FOR SOURCE QUALITY.
- STOCKPILE, LOAD, HAUL AND PLACE MATERIAL IN A MANNER WHICH MINIMIZES SEGREGATION AND DEGRADATION.
- SUBGRADE WILL BE NATURAL EARTHEN SURFACE. IF BACKFILL IS REQUIRED, PLACE GRANULAR BORROW MATERIAL (1" TO 6") WITH TOP 12" COMPACTED TO A MIN 95% OF MODIFIED PROCTOR DENSITY.
- BASE AND SUBBASE LAYERS SHALL BE APPLIED IN LAYERS LESS THAN 6". EACH LAYER SHALL BE SPREAD AND COMPACTED IN A SIMILAR MANNER. COMPACTION TO 95% MODIFIED PROCTOR
- CRUSHED AGGREGATE BASE GRADATION:

SIEVE SIZE	2 IN (TYPE II)	3/4 IN (TYPE I)
2 1/2"	100%	
2"	90-100%	
1 1/2"		100%
1 1/4"	55-83%	90-100%
1 1/8"		
3/4"		
3/8"		
NO. 4	30-60%	40-65%
NO. 8		30-50%
NO. 30	10-25%	
NO. 200	0-8%	3-9%
- ASPHALT CEMENT SHALL BE PG 64-28 OR BETTER GRADE UNLESS OTHERWISE APPROVED BY LOCAL GOVERNMENT ENGINEER AND DESIGN ENGINEER. BINDER SHALL MEET AASHTO M 320 STANDARD SPECIFICATIONS.
- LIQUID ASPHALTS SHALL MEET THE FOLLOWING:
  - RAPID CURING ASPHALTS AASHTO M 81
  - MEDIUM CURING ASPHALTS AASHTO M 82
  - SLOW CURING ASPHALTS ASTM D 2026
- EMULSIFIED ASPHALTS:
  - ANIONIC EMULSIFIED ASPHALT MEET AASHTO M 140
  - CATIONIC EMULSIFIED ASPHALT MEET AASHTO M 208, EXCEPT SAYBOLT VISCOSITY OF CRS-2 TO BE IN RANGE OF 150 MIN TO 400 MAX
- ENSURE RAPID SETTING EMULSION GRADES ARE HOMOGENOUS AFTER THOROUGH MIXING WITHIN 15 DAYS OF DELIVERY
- CRS-2L EMULSIFIED ASPHALT MEET AASHTO M 316 FOR POLYMER MODIFIED CATIONIC EMULSIFIED ASPHALT
- CRS-2R EMULSIFIED ASPHALT INCLUDES ASPHALT CEMENT WITH AT LEAST 1.5% TOTAL RUBBER SOLIDS WITH THE FOLLOWING REQUIREMENTS

PROPERTY	MIN	MAX	AASHTO TEST #
VISCOSITY, SAYBOLT FURUL @122F	---	400s	T-59
STORAGE STABILITY, 24HR	---	1.0%	T-59
DEMULSIBILITY 35ML, .8% D.S.S.	40%	---	T-59
PARTICLE CHARGE TEST	---	POSITIVE	T-59
SIEVE TEST	---	0.10%	T-59
OIL DISTILLAGE BY DISTILLATION	---	3.0%	T-59
RESIDUE BY EVAPORATION	65%	---	T-59 (METH. B)
TEST ON RESIDUE FROM DISTILLATION			
PENETRATION, 77F, 100g, 5s	80	150	T-59,T-49
- CRS-2P POLYMERIZED CATIONIC EMULSIFIED ASPHALT, MILL POLYMER INTO



CLIENT

LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923

NOESIS ENGINEERING  
1680 WOODRUFF PARK  
IDAHO FALLS, IDAHO 83401  
(208) 932-2720 (PHONE)

QT 5/29/19  
DRAWN BY MA 5/29/19  
REVIEWED BY DS 5/29/19  
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HARRISVILLE, UTAH  
7-ELEVEN

PROFESSIONAL ENGINEER  
STATE OF UTAH  
2202  
DANIEL B. SHARP

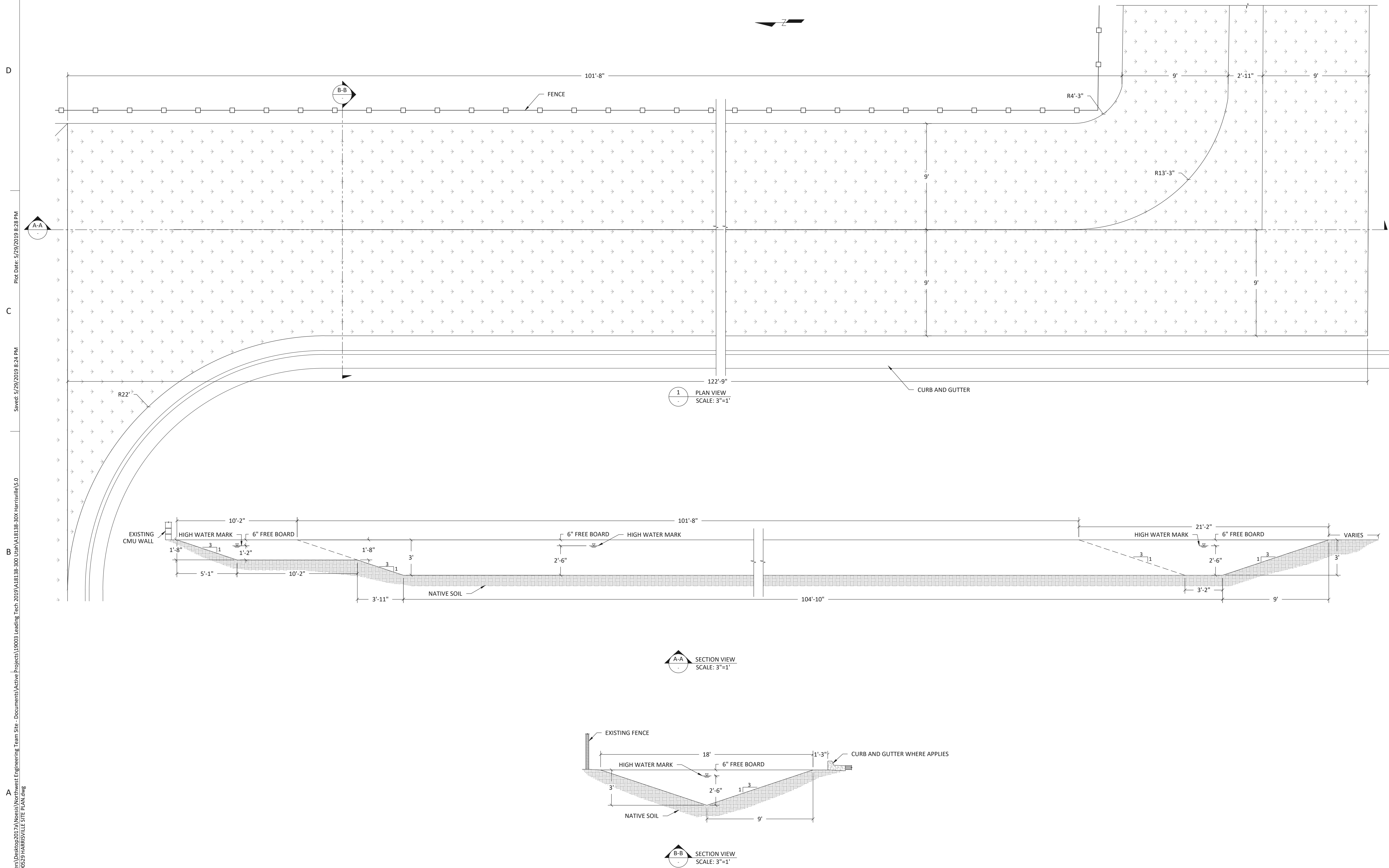
DETAILS

C-601  
Sheet 6 OF 6





Sheet 7 OF 6



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LEADING TECH DEVELOPMENT  
1835 S HWY 89, UT 84302  
(435) 730-0923



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REVIEWED BY DS	DATE 5/29/1
TECHNICAL APPROVAL	DATE

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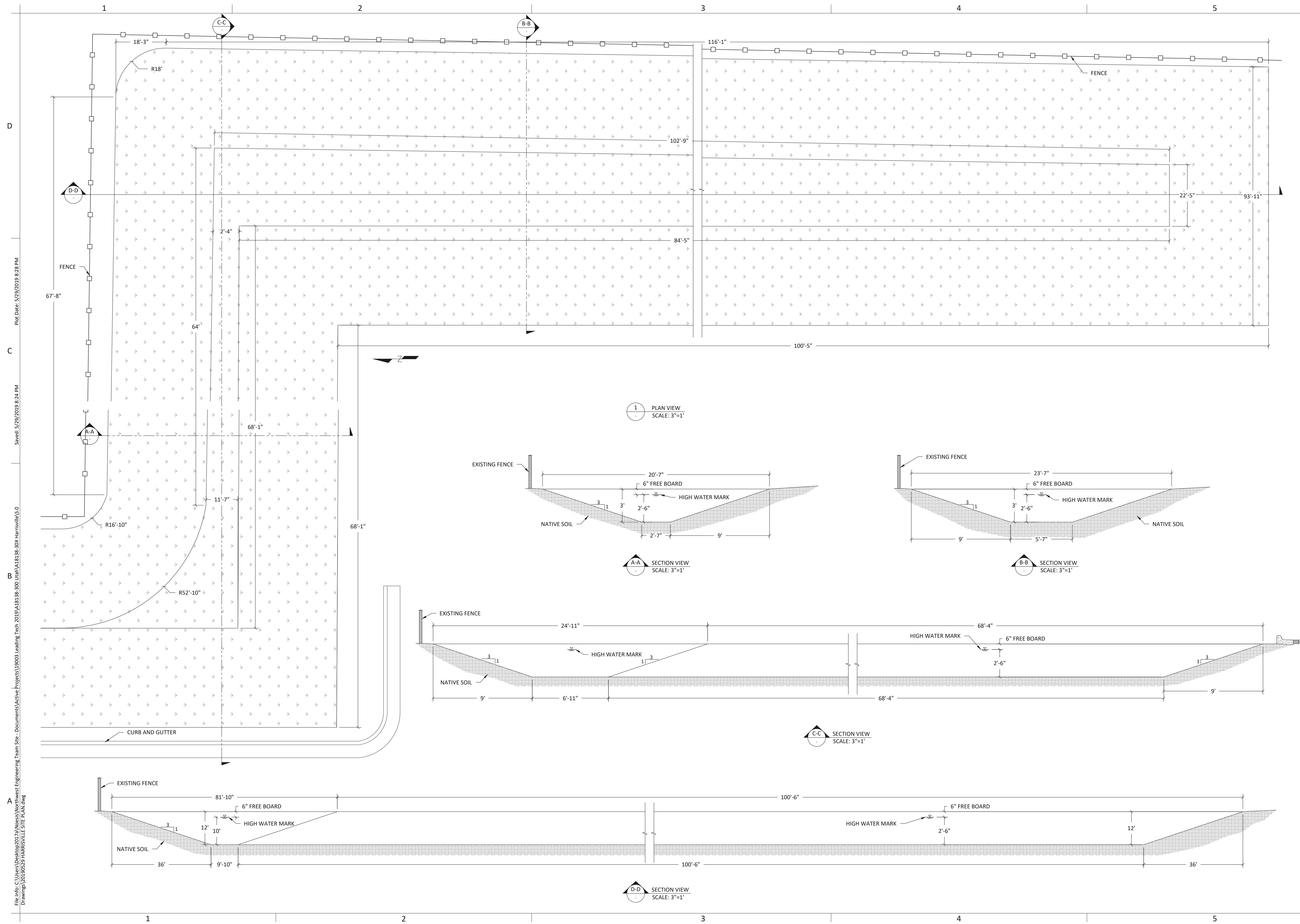
HARRISVILLE, UTAH  
7-ELEVEN

## WATER RETENTION POND DETAILS

C-603

Sheet 8 OF 6





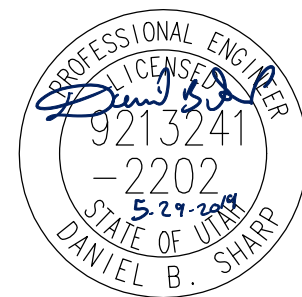
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1835 S HWY 89, UT 84302  
(435) 730-0923



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REVIEWED BY	DATE
DS	5/29/1
TECHNICAL APPROVAL	DATE

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HARRISVILLE, UTAH  
7-ELEVEN



## WATER RETENTION POND DETAILS

C-604

Sheet 9 OF 9



# HARRISVILLE CITY

363 West Independence • Harrisville, Utah 84404 • (801) 782-1449 Fax

## Uniform Land Use & Development Application

For office use

Zone: Mixed-Use Filing Date: 5-29-19 Fee Paid: 150.00

Cash/ Check Credit Card (Circle One) Receipt #: 049362 Taken by: JB

Applicant's Name: Jamie K Christensen phone: 801-644-7232

Applicant's Address: 252 E 1500 N.

Property Owner's Name: Jamie K Christensen

Harrisville Property Address: 252 E 1500 N.

Name of Project: \_\_\_\_\_ Project Engineer: \_\_\_\_\_

Property Acreage: \_\_\_\_\_

County Parcel Number: \_\_\_\_\_

Is site in the flood plan YES/NO. \_\_\_\_\_ Is the site in a hazard area YES/NO. \_\_\_\_\_

### Select Type of Application/Action Requested

- ☐ Site Plan/Use Permit
- ☐ Amended Site Plan/Use Permit
- ☒ Conditional Use Permit
- ☐ Amended Conditional Use Permit
- ☐ Home Occupation without Visiting Clientele
- ☐ Home Occupation with Visiting Clientele
- ☐ Other: \_\_\_\_\_

- ☐ Lot Consolidation
- ☐ Lot Line Adjustment
- ☐ Expand Nonconforming Use
- ☐ Sign Ordinance Review
- ☐ Zoning Map Amendment
- ☐ General Plan Amendment
- ☐ Agriculture Protection Area
- ☐ Vacate Public Right-of-way

Please describe your request: I am a master Esthetician. I will be performing chemical peels, facials, ultrasonic & microneedling to the face.

Code Compliance (Enter the Code Sections Supporting this Application):

I hereby certify to the best of my knowledge that I have attached all the required plans, met the required codes and regulations, and paid all fees. I understand incomplete applications will be returned unprocessed:

Jamie Ch  
Applicant's Signature

5-29-19  
Date

Jamie Ch  
Property Owner Signature and Authorization

5-29-19  
Date